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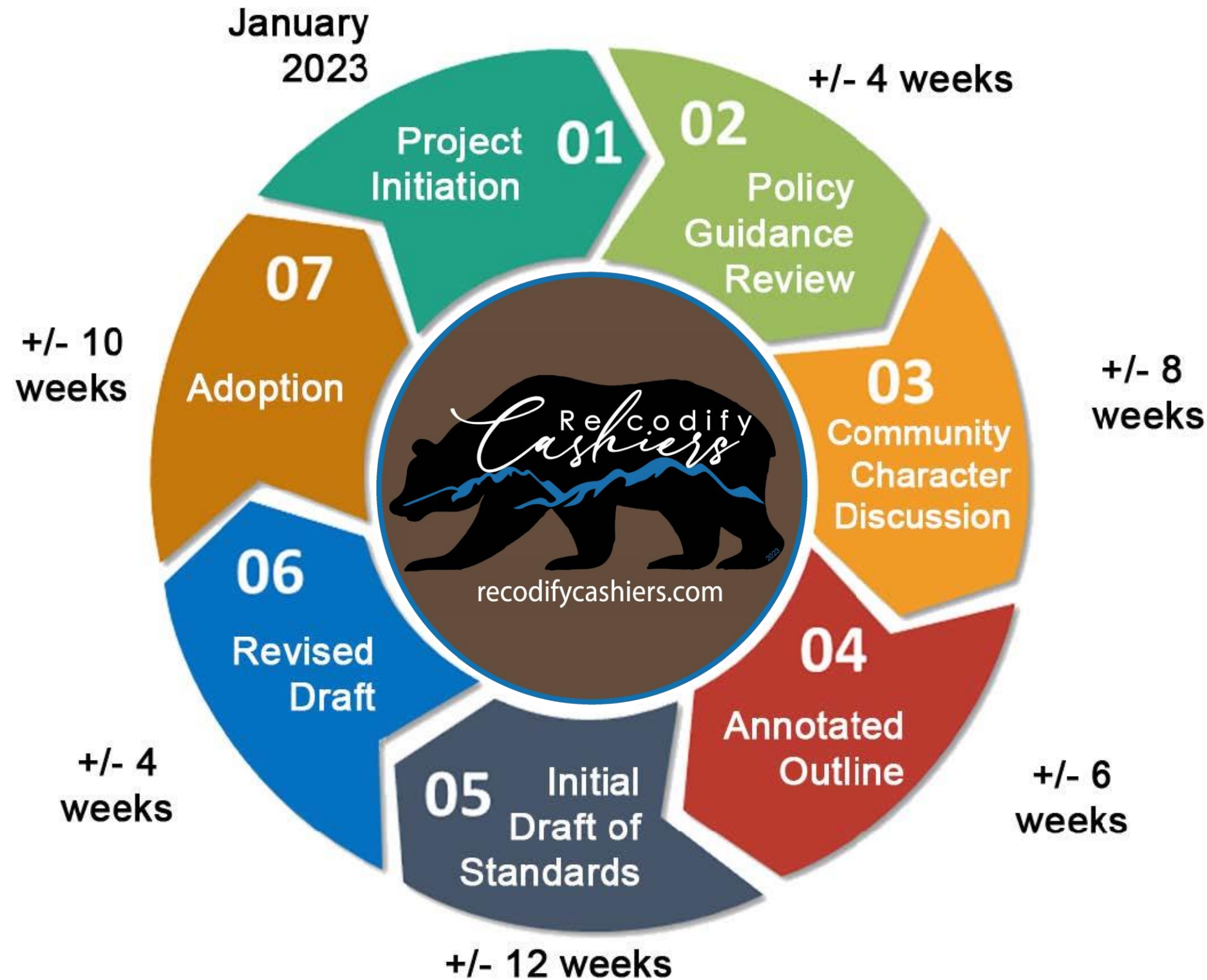
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Next Steps



# What is Recodify Cashiers?



- Project to update the zoning rules for Cashiers (Jackson County UDO Section 9.3)
- Changes to the process for reviewing 'significant' development applications submitted in Cashiers




# What is Recodify Cashiers?

- A means to implement the policy guidance for Cashiers
- Increased emphasis on consistency with established community character

Cashiers, North Carolina

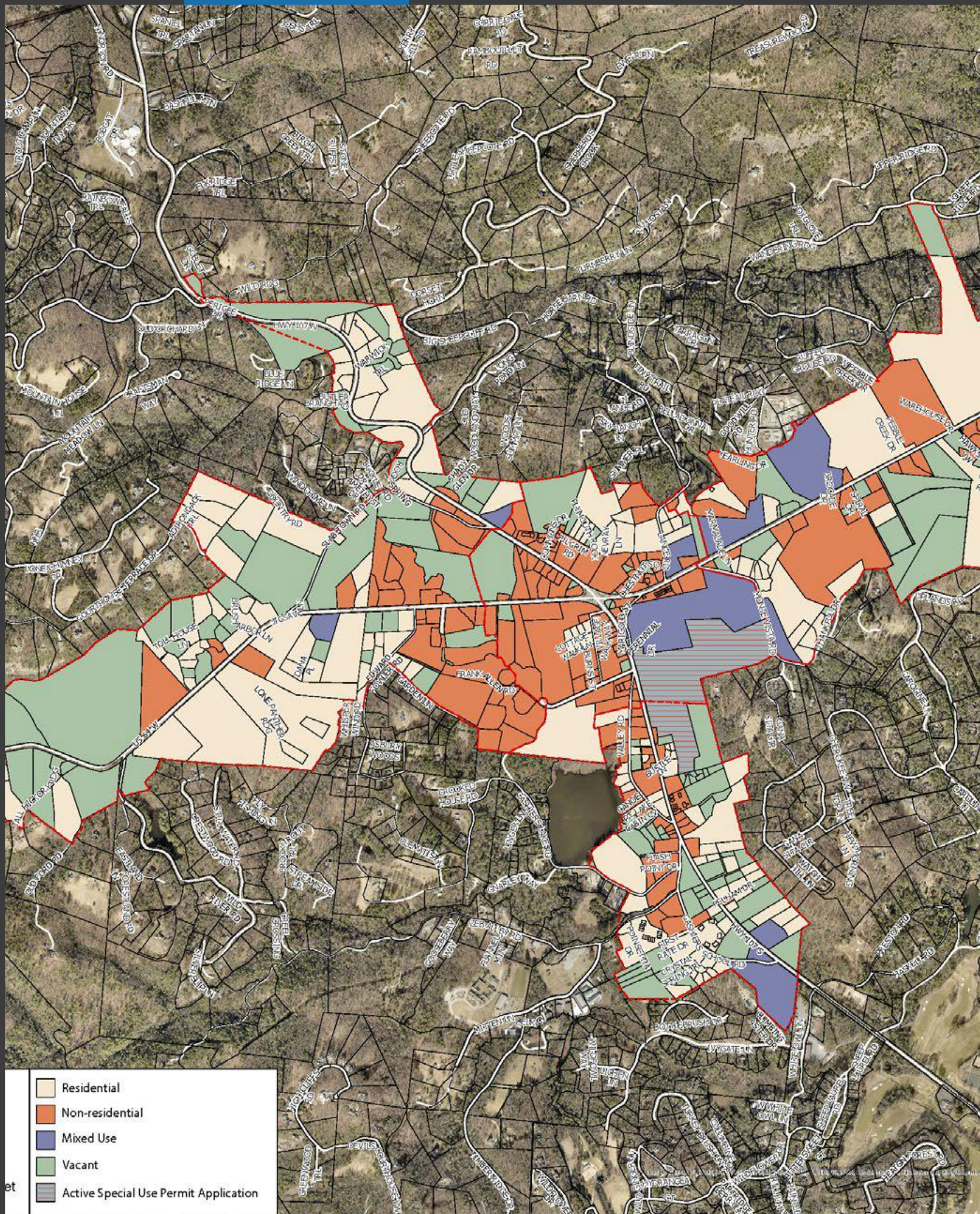
A ULI Advisory Services Panel Report

February 20–25, 2022



ADOPTED  
MARCH 19, 2019

**CASHIERS**  
SMALL AREA PLAN



# What is Recodify Cashiers?

An effort to create:

- Mixed uses
- Broader array of housing options
- Better transportation connections
  - More open space
- Better building design



# What is a Community Character Analysis?

- Identification of the building elements that contribute the most to an area's character
- A description of how these building elements are configured
- An identification of aspirational goals to supplement the existing community character

## RECODIFY CASHIERS

Community Character Analysis (public review draft)  
11-30-23



This Community Character Analysis is organized into seven main sections or categories. These categories were identified and discussed during the presentations in Task 3 conducted in May and June of 2023. These seven sections focus on a particular aspect or element of community character and include details about the current conditions as well as information about aspirational goals, where relevant. Each category also includes a series of short character statements and/or annotated imagery that describes how new development can best be configured to emulate and promote established community character.

The seven sections in this Community Character Analysis include:

1. General Character;
2. Land Use;
3. Lotting Patterns (how lots are configured);
4. Street Design;
5. Open Space;
6. Buildings; and
7. Site Features (parking, landscaping, signage).

The ideas in this Analysis will be the subject of further community discussion, and following further refinement, will be incorporated into new Section 9.3 of the Jackson County UDO as purpose and intent statements and review criteria for new development applications in Cashiers.

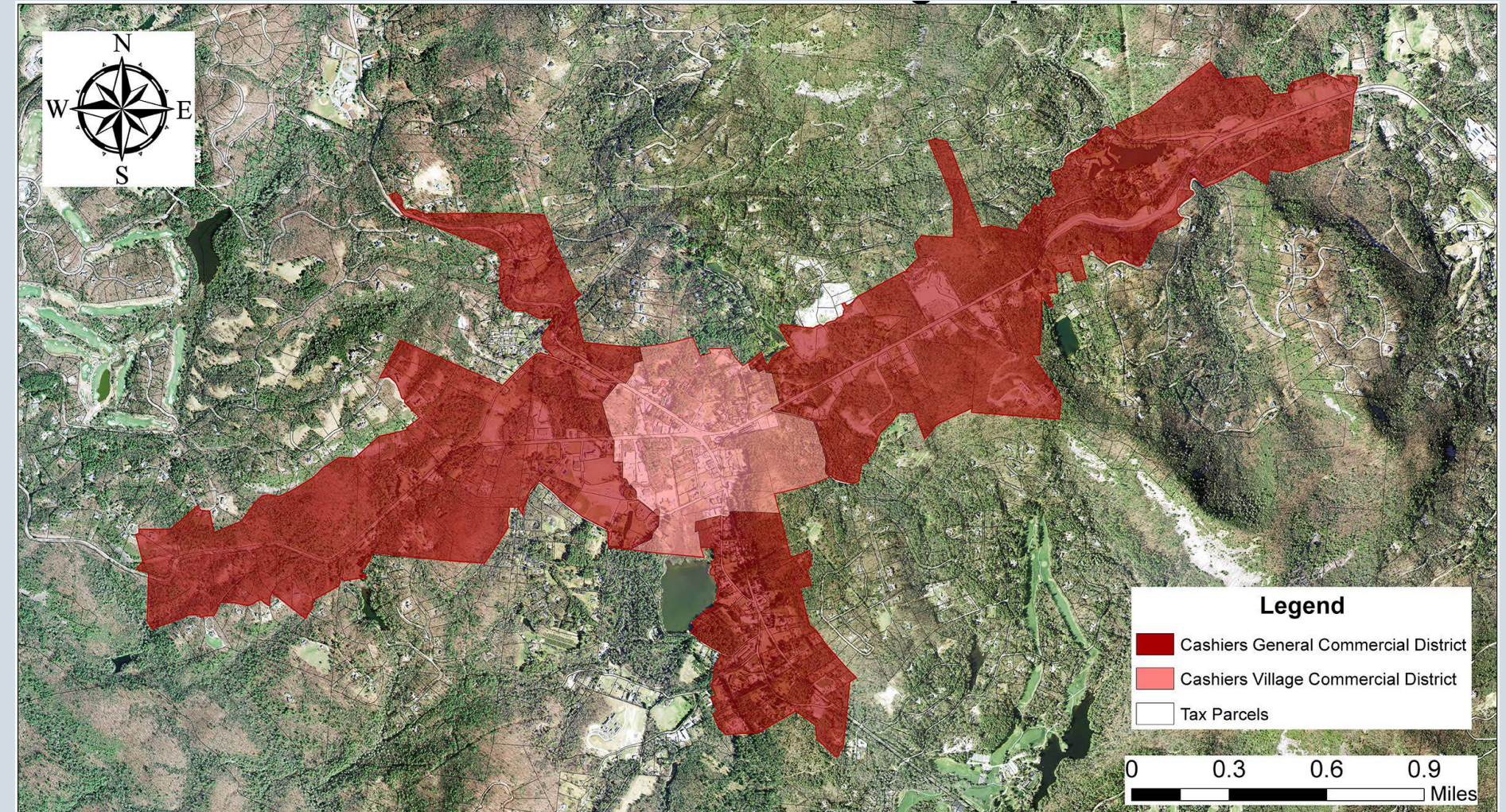
One important aspect to remember is that while there are some basic themes and commonalities to development in Cashiers, not all development is the same, and some degree of variation is desirable. Not all new development should match existing development. At the same time, new development should follow the principles outlined in this Analysis in order to maintain consistent with established community character.



Crossroads of Highway 64 and Highway 107 in Cashiers (looking southwest)



# What is a Community Character Analysis?



7 main aspects of community character:

1. General Character
2. Land Use
3. Lotting Patterns
4. Street Design
5. Open Space
6. Buildings
7. Site Features  
(parking, landscaping, signage)



# General Statements



**Mixed-Use Development**      **Live/Work Units**      **Attached Residential**

Types of aspirational development identified by Cashiers community

The following statements describe the Cashiers community character with respect to land uses, based on the input collected as a part of Recodify Cashiers.

## Land Use Character Statements

- Commercial, industrial, and institutional uses that serve both residents and visitors are welcome in Cashiers, provided they comply with the established community character requirements.
- Mixed-use development is the desired form of land use within the "crossroads", "core", or mixed-use designated area of Cashiers; single-use commercial development is discouraged in this area.
- All forms of residential development are desired and permitted in the crossroads and corridor areas, provided they are consistent with community character requirements.
- New in-line multi-tenant commercial shopping centers with three or more commercial tenants of one story in height should be discouraged, but campus-style shopping centers with detached or semi-detached buildings and two-story hybrid in-line centers are acceptable.
- Larger developments with a gross square footage beyond 20,000 square feet, whether single-use or mixed-use, may only be established on lots bearing a conditional zoning district designation approved via the pending conditional rezoning process.
- All use types, except the establishment of an individual single-family detached home on its own lot, shall be required to set aside a minimum percentage of the lot as private common open space in one or more of the required formats.
- Village Commercial and General Commercial district designations will be redefined as mixed use, non-residential, and residential zoning designations, along with the creation of the conditional zoning district option, which may only be applied through a rezoning.

## Images of Description



Common siding materials in Cashiers

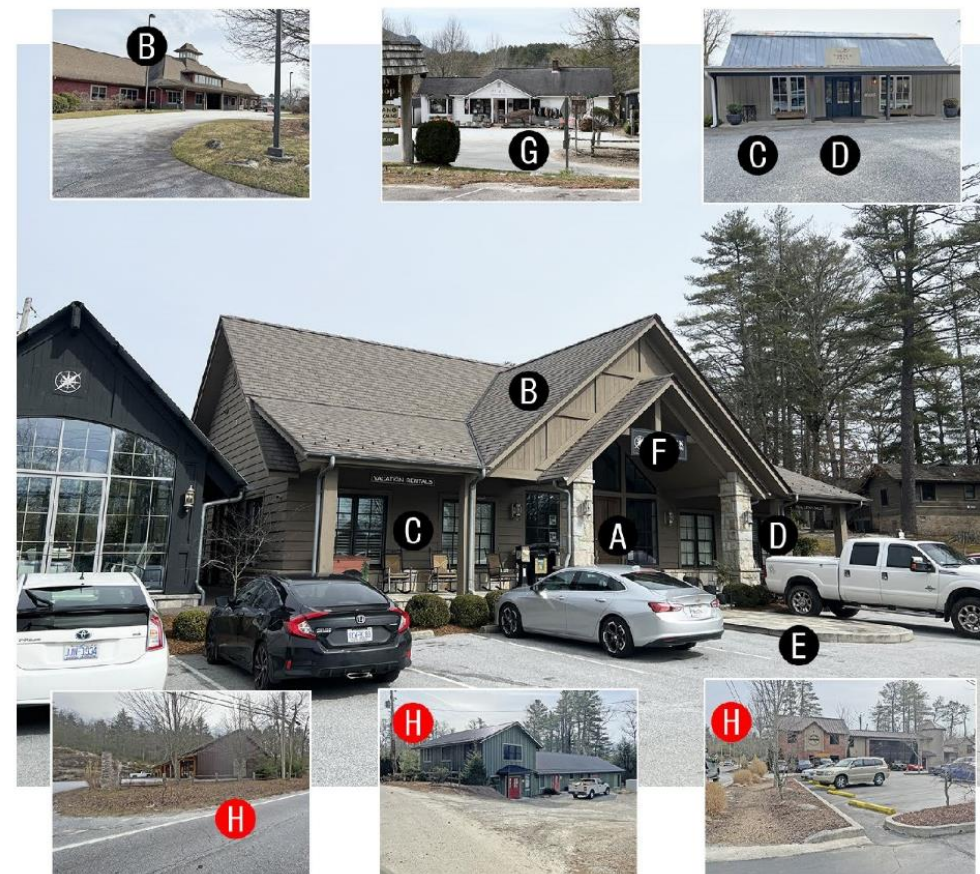
There are three basic roof material forms in Cashiers (found on pitched roofs): asphalt shingles, standing seam metal, and cedar shake.



Common non-residential roofing materials in Cashiers

# What is a Community Character Analysis?

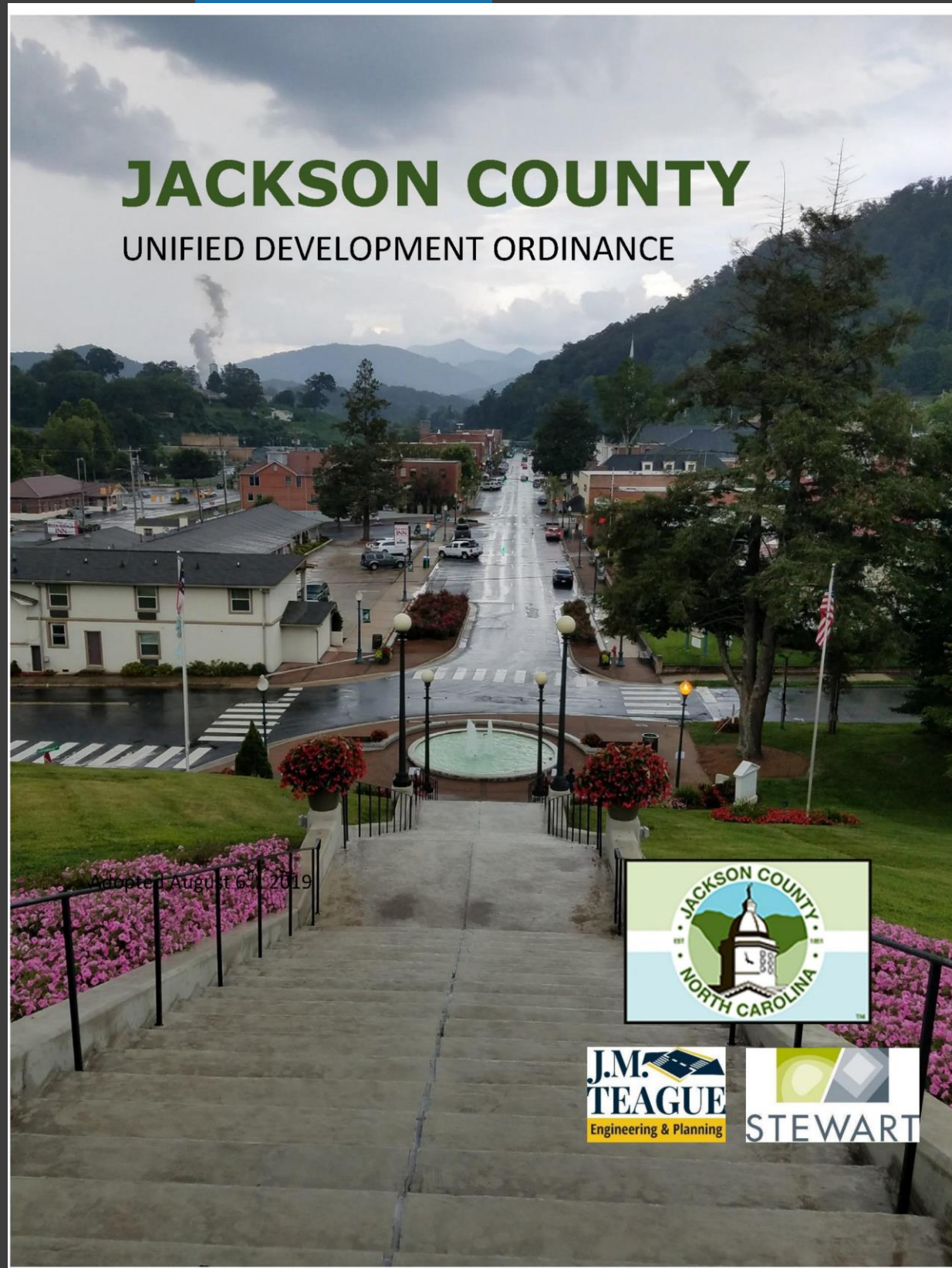
## Images of Consistency/Inconsistency



- A** Entryway faces street fronting the building
- B** Roof feature identifies primary entryway
- C** Gathering area proximate to entryway
- D** Change in exterior material/color to signify entrance
- E** Entry access cue
- F** Weather protection for pedestrians
- G** Outdoor display
- H** Entryway does not face the street (**inconsistent**)

Primary entryway features in Cashiers





# How will we use the Community Character Analysis?

It informs the revisions to UDO Section 9.3:

- Purpose and intent
- District dimensional standards
- Allowable uses by zoning district
  - Development standards
  - Building design standards

1. General Character
2. Land Use
3. Lotting Patterns  
(how lots are configured)
4. Street Design
5. Open Space
6. Buildings
7. Site Features  
(parking, landscaping, signage, etc.)

# What are the Findings in the Analysis?

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# What are the Findings in the Analysis?

## GENERAL CHARACTER

### General Character Statements

1. Cashiers is a small, quiet crossroads community on a plateau in a natural mountain setting with great views of the surrounding landscape.
2. It is a desirable community with a blend of year-round and seasonal residents who welcome vacationers. The community is a home for residents (and their children) first and a place for visitors second.
3. There is a deep respect for nature, a strong ethos of environmental stewardship, and a reverence for historic features.
4. Smaller, informal developments are more in keeping with the community's desired scale and ecological impact than larger projects with larger buildings or more land disturbance.
5. The scale of development and presence of lush vegetation gives the community the feel of a wooded retreat, and new development should be consistent with this type of atmosphere.
6. Cashiers is a mountain community where landowners have had to work with topographic conditions instead of drastically altering them to accommodate development.
7. While Cashiers is a sensitive environmental landscape, it is also a center of human habitation.
8. Some of the key problems facing Cashiers are its incomplete utility system, traffic congestion, the challenge of protecting stormwater quality, and a lack of housing options for full-time residents and seasonal workers.



# What are the Findings in the Analysis?

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## LAND USE

### Aspirations:

- More use-mixing
- Live/work units
- Single-family attached development
- Accessory dwelling units



Mixed-Use Development

Live/Work Units

Attached Residential

# What are the Findings in the Analysis?

## Lotting Pattern Character Statements

1. Lots in Cashiers have a random quality with respect to size, orientation, and placement; and this random quality contributes to the desired eclectic community character.
2. Lot sizes within the core area of Cashiers tend to be small while lot sizes along the highway corridors tend to be larger than those found in the core area.
3. Building setback requirements (or the lack of them) have, over time, created conditions where buildings maintain a desirable informal, irregular spacing along street fronts.
4. Side and rear setbacks are not applied and this allows for buildings to maintain variable spacing. Development standards should embrace and promote techniques to promote random building placement.
5. Many buildings are canted to or offset from the street alignment instead of directly parallel to it, and this variability creates a more interesting streetscape along with opportunities for beneficial gathering areas or additional vegetation in front of or to the side of buildings.
6. Most non-residential lots in Cashiers maintain a limited and often informal off-street parking area between the building and the street it fronts. Limited numbers of “in-front” parking spaces are consistent with the established community character.
7. With the allowance for new forms of mixed-use and a desire for campus-style multi-building retail development, the development regulations need to be supplemented with minimum building spacing requirements for developments including two or more separate buildings to ensure safe and efficient on-site circulation.

## LOTTING PATTERNS

### Aspirations:

- Recognition of townhouse lot developments
- Conservation subdivisions and wastewater treatment
- Setbacks that support limited amounts of “in front” parking



# What are the Findings in the Analysis?

## STREET DESIGN

### Aspirations:

- New requirements to add private, local streets
- New street connectivity index
- Public sidewalks along 64 & 107
- New requirements for private sidewalks, paths, & trails
- Strategy to make missing pedestrian connections

### Street-Related Character Statements

1. Cashiers has an informal, curvilinear, “village-style” street network. Curvilinear streets are more desirable than long straight streets that can contribute to higher vehicle speeds.
2. Local streets are generally narrow, comprised of two opposing lanes, each between 10 and 12 feet in width. Local streets are the preferred scale of street in Cashiers, though alleys are also desirable within the most intensely-developed areas.
3. While some collector streets (Frank Allen, Slab Town, Valley, etc.) are through streets that start and stop at street intersections, most local streets are dead-end streets with few connections to other streets. Extensions of these streets and connections through vacant lands to other existing streets as part of new development are important ways to address traffic congestion.
4. Except along Frank Allen, curb and gutter is largely absent, roadway shoulders are narrow and soft, and street drainage is accomplished via roadside ditches and swales. Curb and gutter should be avoided, particularly in cases where they will result in additional stormwater entering sensitive natural areas.
5. Most streets are paved with asphalt.
6. There are few-to-no formal alleys, though informal, unpaved accessways across lot lines in commercial areas are not uncommon and should be further encouraged.
7. Except along Frank Allen and portions of US 64 and NC107, improved sidewalk is largely absent. Most pedestrian ways are “desire lines” along paved streets and some informal trails (like the Greenway Ramble) at the backs of commercial lots in the core area. Cashiers should continue to require build-out of a public sidewalk system along major roads and allow for less formal methods of pedestrian connection along local streets and within developed areas.



# What are the Findings in the Analysis?

## Open Space Character Statements

1. Cashiers is situated within a valley on a mountain plateau, and as such, it includes numerous watercourses, wetlands, and bogs where stormwater collects and moves to downslope areas. These water features are the most important ecological aspects in the community and their protection is vital to the area's continued viability.
2. Given the mountain terrain and topography of the area, slopes are a common feature on most lots. It is important to balance the competing needs of controlling sedimentation with a recognition of the legitimate investment-backed expectations of property owners who may need to develop areas with slopes of less than 35%.
3. Cashiers is blessed with a robust and varied forest canopy that plays an important part in animal habitat, stormwater uptake, surface water temperature control, erosion control, sound attenuation, and property value protection. Tree protection should receive increased attention, and retention of existing trees should become part of landscaping requirements.
4. Areas of informal outdoor gathering, dining, and performance spaces along building fronts and in less-prominent lot locations create places for residents and visitors to interact and convey the importance human interactions are common throughout Cashiers and should be promoted.
5. Cashiers has a layered system of informal trails and formal sidewalks that help residents and visitors move through the community, but additional emphasis is needed on completing missing links and connections, particularly in areas that are already developed.

## OPEN SPACE

### Aspirations:

- Require all forms of non-residential, mixed-use, and multi-family development to provide open space
- Apply open space requirements to residential subdivisions
- Recognize a wider range in types of open space
- Require gathering areas and active open space in more intense developments
- Credit sidewalks towards open space requirements
- Explore parkland fee-in-lieu for greenways



# What are the Findings in the Analysis?

## BUILDINGS

### PLACES OF CONSISTENCY

#### 1. Bucks Coffee Cafe



- A Local Business
- B Gathering Area
- C Residential-Scale
- D Storefront Windows
- E Pitched Roof
- F Earth Tone Color
- G Clapboards
- H Vertical Stone Accent

#### 2. 107 South Corridor (Cornucopia, Fiddleheads, Vivace, & Highland Hiker)



- A Residential Scale
- B Pitched Roof
- C Earth Tone Colors
- D Wooden Siding
- E Gathering Spaces
- F Close to Street
- G 1-2 Story Height
- H Informal Parking
- I Storefront Windows
- J Sequential Additions

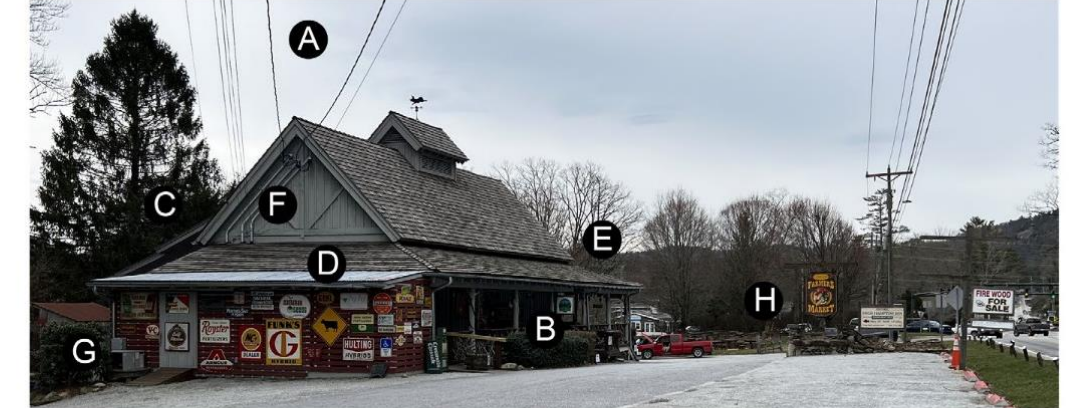
#### 3. Village Green



- A Institutional Use
- B Gathering Area
- C Residential Architecture
- D Sequential Additions
- E Pitched Roof
- F Earth Tone Colors
- G Shakes
- H Rafter Tails

### PLACES OF CONSISTENCY

#### 4. Farmers' Market



- A Institutional Use
- B Gathering Area
- C Residential Architecture
- D Sequential Additions
- E Multi-Pitch Roof
- F Earth Tone Colors
- G Adornment
- H Large Signage

#### 5. Wells Hotel



- A Local Business
- B Gathering Area
- C Residential-Scale
- D Wooden Accents
- E Pitched Roof
- F 2 Story Height
- G Clapboards
- H Stone Accents
- I Large Sign



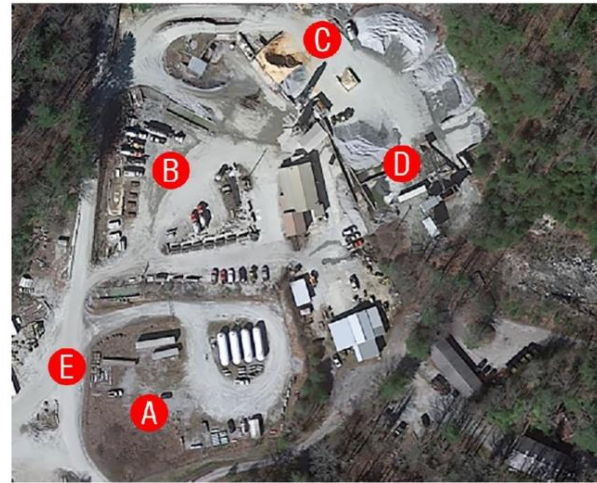


# What are the Findings in the Analysis?

## BUILDINGS

### PLACES OF INCONSISTENCY

#### 1. Toxaway Concrete



- A** Heavy Industrial Use
- B** Noise and Vibration
- C** Outdoor Storage of Raw Materials
- D** Potential for Silica Dust
- E** Heavy Truck Traffic

(Despite inconsistencies, this use is important to the community, it pre-dates many other uses, and is well-screened)

#### 2. Cashiers Center (Ingles)



- A** In-Line Center
- B** Deep Front Setback
- C** Expansive Parking Lot
- D** No Interior Parking Lot Landscaping
- E** Most Parking in Front
- F** Monolithic Building Appearance
- G** Uniform Flat Roof (except Ingles)
- H** Drive-Through in Front of Building
- I** Visible Rooftop Equipment
- J** EIFS on Ingles Facade
- K** Tall Parking Lot Lights

#### 3. Wilson Electric Building



- A** Deep Setback
- B** Most Parking In Front
- C** Mansard Roof
- D** EIFS on Parapet
- E** Heavy Material (EIFS) above Lighter Material (Siding)
- F** Stone Veneer
- G** No Entry Features

### PLACES OF INCONSISTENCY

#### 4. Spinx Stations (Highway 64 locations)



- A** Canopy in Front
- B** No Architectural Relationship between Canopy and Building
- C** Scale of Canopy
- D** Flat Roof
- E** Limited Glazing (windows)
- F** Service Areas not Screened



- A** Canopy in Front
- B** No Architectural Relationship between Canopy and Building
- C** Scale of Canopy
- G** Deep Front Setback
- H** Corporate Signage

#### 5. Designer Cottages (display on Highway 64)



- A** Modern Architecture
- B** Monopitch Roof
- C** Building Width
- D** Scale
- E** Foundation Obscured

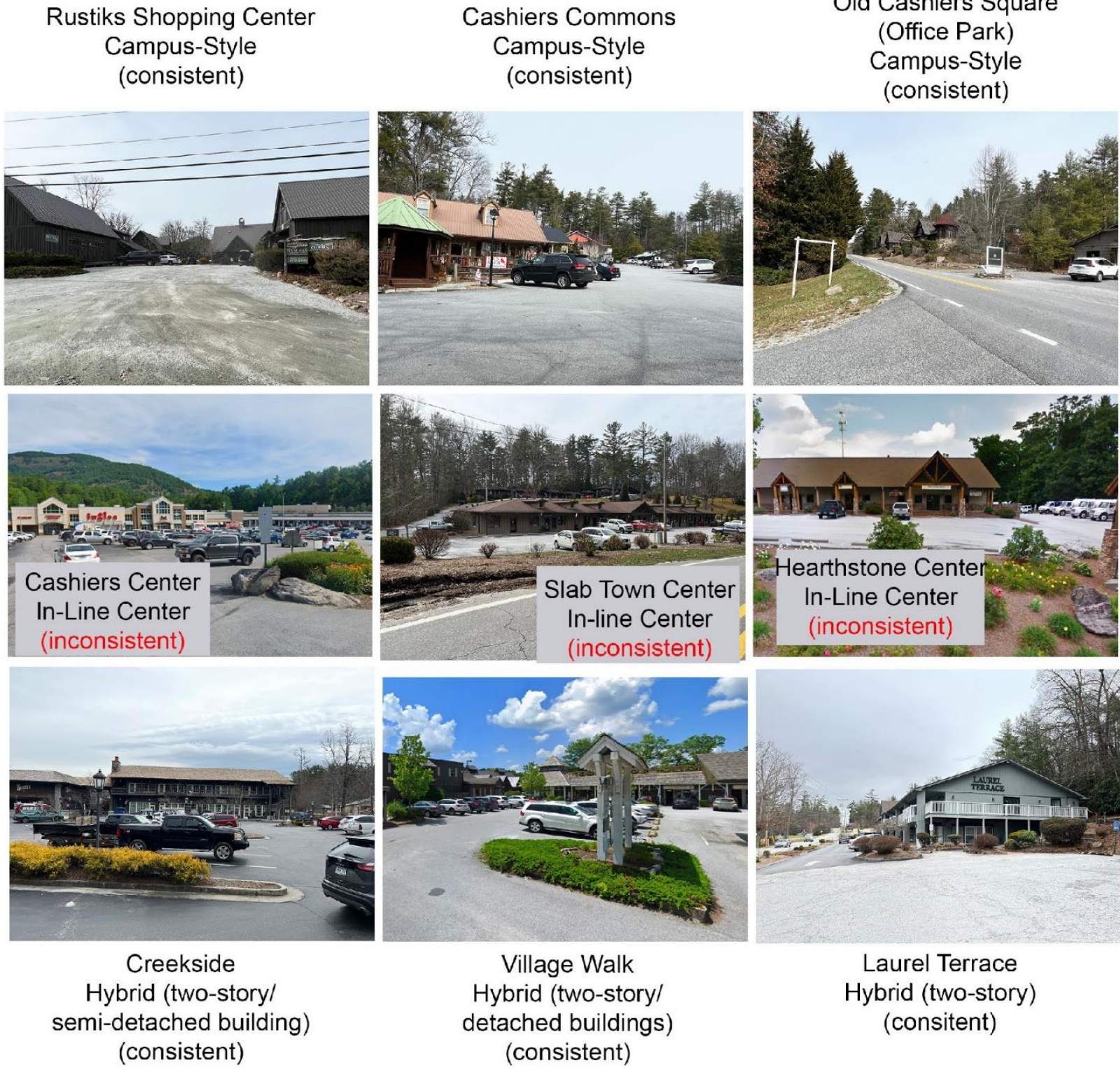
# What are the Findings in the Analysis?

SELECTED BUILDING SIZES IN THE CASHIERS COMMERCIAL DISTRICT	
Building Name or Location	Total Building Size by Development (in square feet)
Chamber of Commerce Building	1,044
Subway Building (ground floor)	2,705
Cashiers Farmer's Market	3,233
Cornucopia	5,771
United Community Bank (including drive through)	6,139
Post Office (including covered areas)	9,340
Shoppes on the Green	11,268
Cashiers Library	14,019
Cashiers Recreation Center	22,750
Cashiers Center (Ingles Shopping Center)	124,037

County staff has assembled an inventory of building and lot size characteristics within the Cashiers Commercial District from Jackson County tax card data. The inventory includes 166 sites that contain approximately 192 separate buildings (including a few single-family structures). Approximately 39 of the sites in the inventory have no buildings (though some of these sites may have other built features like parking lots). The 119 sites in the inventory with buildings include a total of 873,466 square feet of building floor area. The table below provides a summary of building size ranges for the 192 buildings in the inventory.

BUILDING SIZE RANGES FROM SELECT SITES IN THE CASHIERS COMMERCIAL DISTRICT				
Building Size (in square feet)	# of Developments with Total Building Size in Range	Total Building Square Footage	Average Building Size	Median Building Size
Less than 2,000	22	873,466	4,646 square feet	2,384 square feet
2,000 – 4,999	47			
5,000 – 9,999	24			
10,000 – 19,999	19			
20,000 or more	7			
<b>TOTAL</b>	<b>119</b>			

There are a total of 190 buildings in the inventory on 119 sites.



# BUILDING HEIGHT



Creekside Shopping Center

Two-story Retail Building (consistent)



Cornucopia

Two-story Addition (consistent)



Vivace/Objet D'Art

Blended Building Height (consistent)



Wendys

Additional Height added (consistent)



J Gabriel

Buildings On Sloping Sites (consistent)



Highland Hiker

Flat Facade/Pitched Roof (consistent)



Village Green

Appears as 3-Story but tiered (consistent)



Cashiers Community Center

3-Story Building (inconsistent)



Spinx Station (Hwy 64)

Accessory Structure Taller than Principal Building (inconsistent)

# What are the Findings in the Analysis?

Gable Roof (consistent)



Hip Roof (consistent)



Gambrel Roof (consistent)



Compound Pitch (consistent)



Dormer (consistent)



Compound Gable (consistent)



Flat Roof (inconsistent)



Mansard Roof (inconsistent)



Monopitch ("shed") (inconsistent)

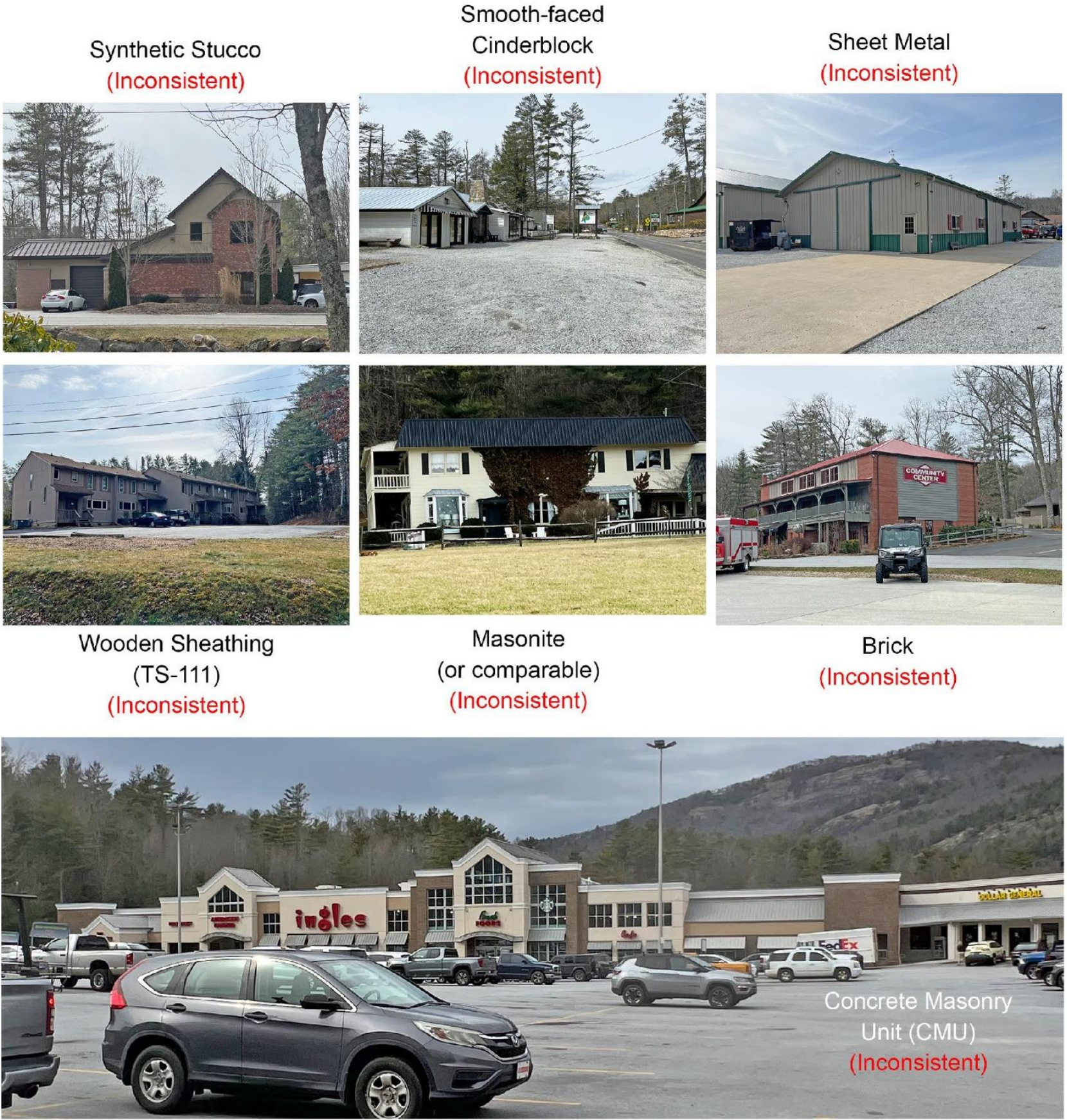
# What are the Findings in the Analysis?

There is a strong precedent for use of “natural” material, such as wood, stone, and metal. In some cases, these materials are configured in ways to promote a “rustic mountain lodge” appearance.



Non-residential buildings in Cashiers configured to portray a rustic mountain lodge character

Stone, while occasionally used as a primary exterior material (such as on Wells Fargo or the Boys and Girls Club buildings), is more often used as a vertical accent (such as columns or chimneys). It is important to note that stone veneer configured as a narrow stone band mimicking a stone foundation is not a typical part of the established Cashiers community character.



Synthetic Stucco  
(Inconsistent)

Smooth-faced  
Cinderblock  
(Inconsistent)

Sheet Metal  
(Inconsistent)

Wooden Sheathing  
(TS-111)  
(Inconsistent)

Masonite  
(or comparable)  
(Inconsistent)

Brick  
(Inconsistent)

Concrete Masonry  
Unit (CMU)  
(Inconsistent)

# What are the Findings in the Analysis?

Site Features (parking, landscaping, signage, etc.)





## NEXT STEPS...

- **Character Analysis Discussion**  
CPC Meeting Monday, 12.18.23 @ 6P
- **Annotated Outline Discussion**  
CPC Meeting Tuesday, 12.19.23 @ 6P
- **Drafting commences Jan 2024**



